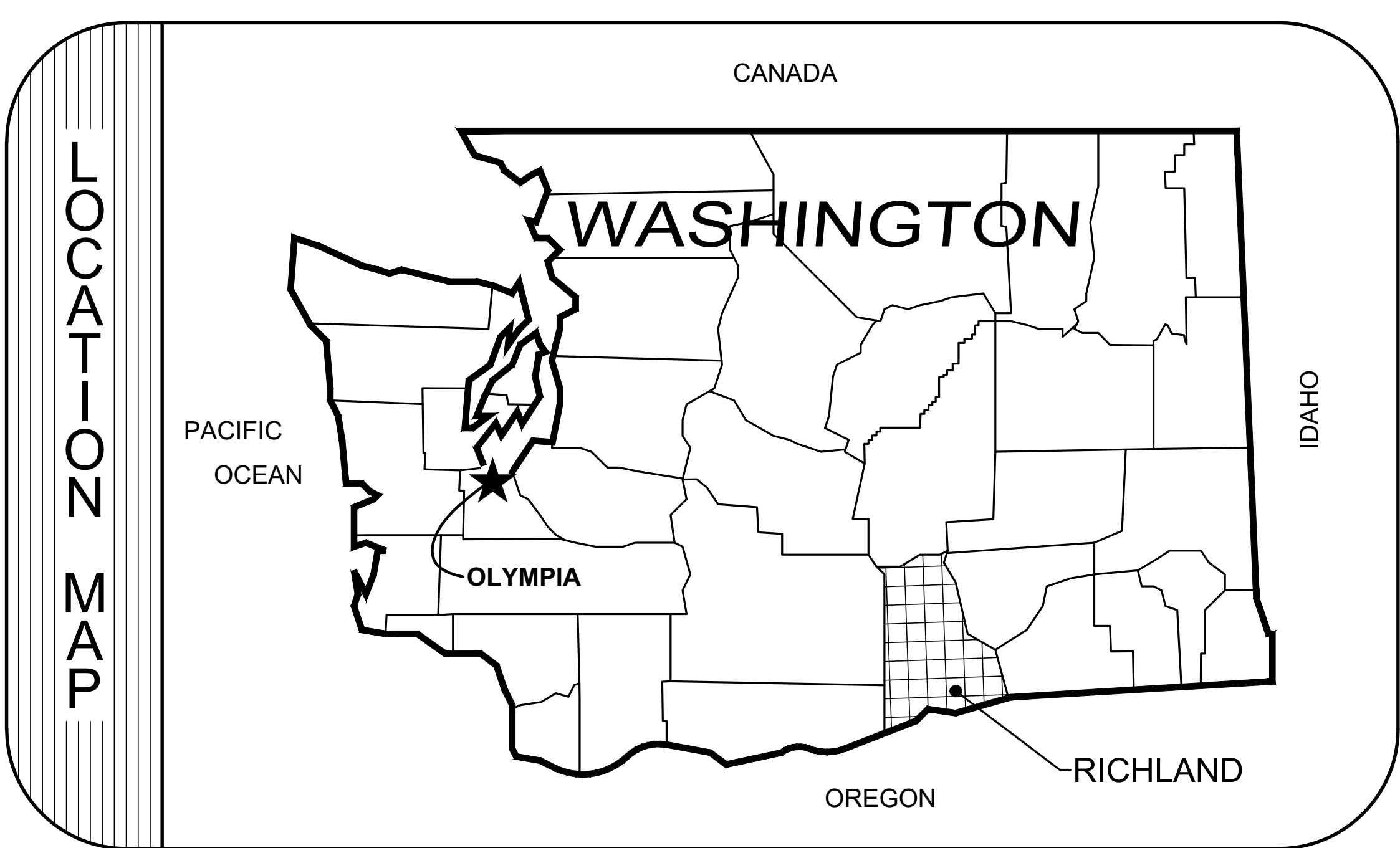


PORT OF BENTON

2939 RICHARDSON RD
PARKING LOT IMPROVEMENT PROJECT

SEC. 23, T. 10N, R 28E W.M.
BENTON COUNTY, WA



SHEET INDEX

DWG	SHEET	TITLE
G-01	1	COVER SHEET
G-02	2	LEGEND AND ABBREVIATIONS
S-01	3	TOPOGRAPHIC SURVEY
C-01	4	DEMOLITION & TESC PLAN
D-01	5	SITE GRADING & PAVING/STRIPING PLAN
SD-01	6	DETAILS
SD-02	7	DETAILS

- CITY OFFICIALS
- EXECUTIVE DIRECTOR: DIAHANN HOWARD
 - PORT COUNSEL: DAVID BILLETDEAUX
 - DIRECTOR OF FINANCE: JEFF LUBECK
 - DIRECTOR OF REAL ESTATE: TERESA HANCOCK
 - DIRECTOR OF FACILITIES & OPERATIONS: RON BRANINE
 - FACILITIES MANAGER: JOE PISCA
 - DIRECTOR OF MARKETING: WALLY WILLIAMS
 - CONSTRUCTION PROJECT MANAGER: BRYAN BELL



Y:\Projects\Benton, Port of\2939 Richardson Rd Parking Lot\Design\WORKING\G-01 to G-02.dwg

REUSE OF DOCUMENTS

THIS DRAWING, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CENTURY WEST ENGINEERING CORPORATION, AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CENTURY WEST ENGINEERING CORPORATION.

© CENTURY WEST ENGINEERING CORPORATION



NO.	DATE	BY	APPR	REVISIONS



ELLENSBURG OFFICE
208 W 9TH AVENUE, SUITE 3
ELLENSBURG, WA 98926
509.933.2477

DATE:
12/20/2023

PROJECT NO:
41446.008.01

DESIGNED BY:
TAW

DRAWN BY:
JCW

CHECKED BY:
TAW

SCALE:
N.T.S.

WESTINGHOUSE PARKING LOT
PORT OF BENTON
RICHARDSON RD PARKING LOT IMPROVEMENTS

COVER SHEET

DRAWING NO.

G-01

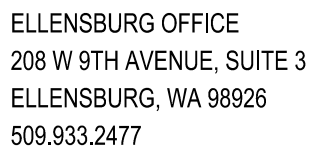
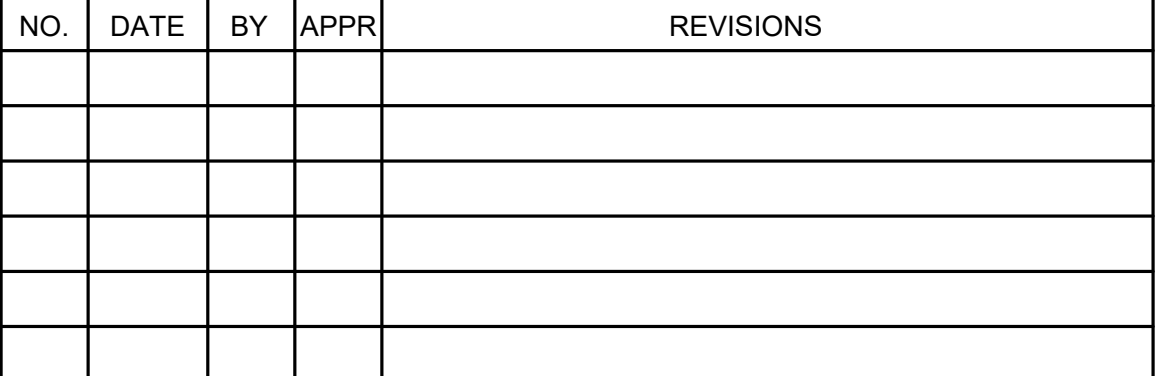
SHEET NO.

1 OF 7



ASHTO	-	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ASTM	-	AMERICAN SOCIETY FOR TESTING MATERIALS
BOW	-	BACK OF WALK
CDBG	-	COMMUNITY DEVELOPMENT BLOCK GRANT
CL	-	CENTERLINE
CMP	-	CORRUGATED METAL PIPE
CSTC	-	CRUSHED SURFACING TOP COURSE
CSBC	-	CRUSHED SURFACING BASE COURSE
DI	-	DUCTILE IRON
ECY	-	DEPARTMENT OF ECOLOGY
FH	-	FIRE HYDRANT
FL	-	FLANGE/FLOW LINE
FOW	-	FACE OF WALK
GALV.	-	GALVANIZED
HDPE	-	HIGH DENSITY POLYETHYLENE
HMA	-	HOT MIX ASPHALT
IE	-	INVERT ELEVATION
I&I	-	INFLOW & INFILTRATION
MH	-	MANHOLE
MJ	-	MECHANICAL JOINT
NPT	-	NATIONAL PIPE THREAD
OSHA	-	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PCC	-	PORTLAND CEMENT CONCRETE
PVC	-	POLYVINYL CHLORIDE
SCH.	-	SCHEDULE
STA	-	STATION
TBC	-	TOP BACK OF CURB
TESC	-	TEMPORARY EROSION & SEDIMENT CONTROL
WISHA	-	WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT
WS	-	WATER SERVICE
WSDOE	-	WASHINGTON STATE DEPARTMENT OF ECOLOGY
WSDOT	-	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

THIS DRAWING, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CENTURY WEST ENGINEERING CORPORATION, AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CENTURY WEST ENGINEERING CORPORATION.



DATE: 12/20/2023

PROJECT NO:
41446.008.01

DESIGNED BY
TAW

DRAWN BY:
JCW

CHECKED BY:
TAW

SCALE:
N.T.S.

WESTINGHOUSE PARKING LOT
PORT OF BENTON
RICHARDSON RD PARKING LOT IMPROVEMENTS

LEGEND & ABBREVIATIONS

DRAWING NO.

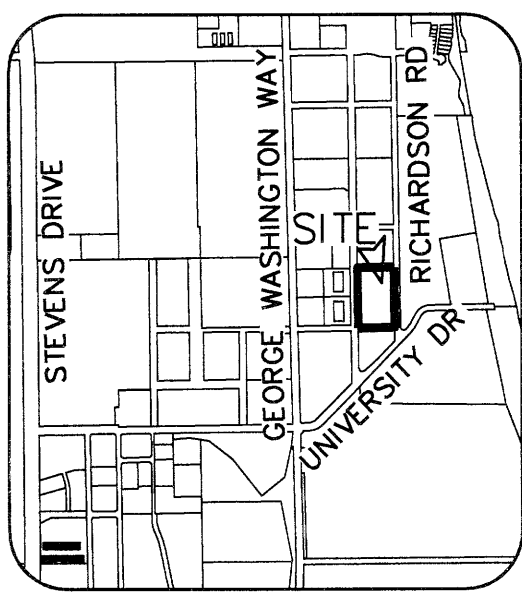
G-02

SHEET NO.

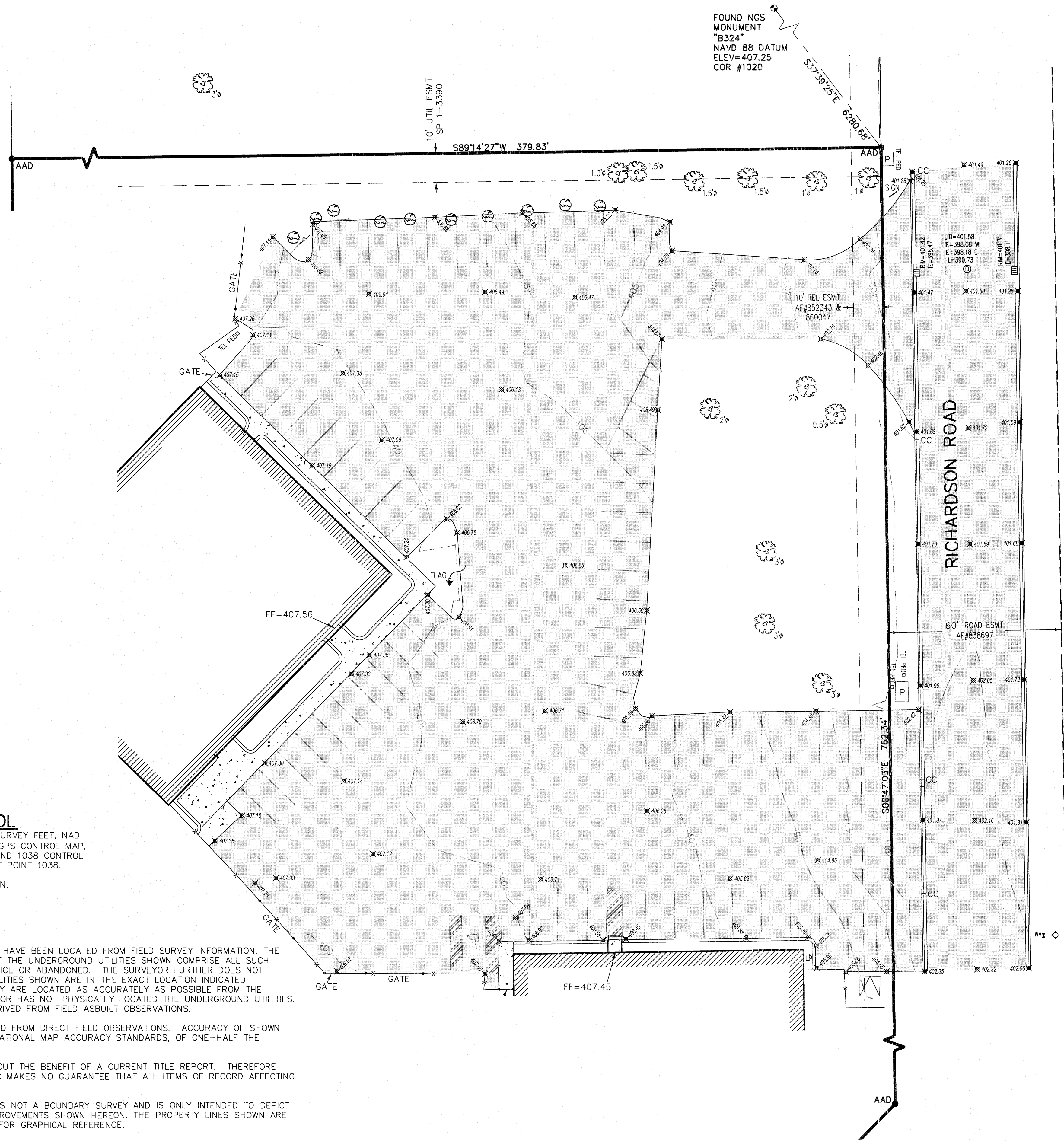
2 OF 7

TOPOGRAPHIC DESIGN SURVEY

E 1/2 OF SEC. 23, T.10N., R.28E., W.M.,
CITY OF RICHLAND,
BENTON COUNTY, WASHINGTON



VICINITY SKETCH
NOT TO SCALE



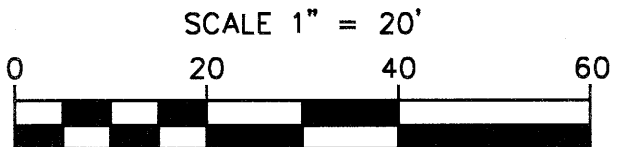
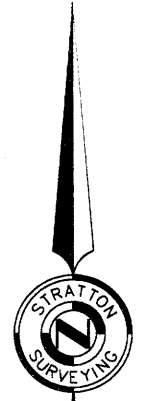
DESCRIPTION

LOT 2 OF THE SHORT PLAT RECORDED IN VOLUME 1 OF SHORT
PLATS AT PAGE 3390, RECORDS OF BENTON COUNTY,
WASHINGTON.

TOGETHER WITH AND SUBJECT TO EASEMENTS, RESERVATIONS,
COVENANTS AND RESTRICTIONS, OF RECORD AND IN VIEW.

LEGEND

- AAD ● = FOUND 5/8" REBAR W/ ORANGE PLASTIC
CAP MARKED "STRATTON AAD 38021"
- = FOUND MONUMENT AS INDICATED
- UTIL = UTILITY
- ESMT = EASEMENT
- CC = CONCRETE CURB AND GUTTER
- CC = CURB CUT
- PM = POWER METER
- PT = POWER TRANSFORMER
- PV = POWER VAULT
- S = SIGN
- ### = SPOT ELEVATION GUTTER LINE
- ### = SPOT ELEVATION TOP OF ASPHALT
- SCB = STORM CATCH BASIN
- SMH = STORM MANHOLE
- TEL PED = TELEPHONE PEDESTAL
- WFH = WATER FIRE HYDRANT
- WV = WATER VALVE
- T = TREE W/ DIAMETER NOTED
- B = BUSH
- F = FENCE
- E = EASEMENT
- PB = PROPERTY BOUNDARY
- CONCRETE = CONCRETE
- ASPHALT = ASPHALT
- BUILDING = BUILDING



SCALE 1" = 20'
BASIS OF BEARING
WA STATE GRID
SOUTH ZONE NAD 83(2011)

BASIS OF ELEVATION
CITY OF RICHLAND
PNT NO.1020
NAVD 88 DATUM
ELEV=407.25'

EQUIPMENT USED
A THREE-SECOND TOTAL STATION
SPECTRA PRECISION RTK GPS

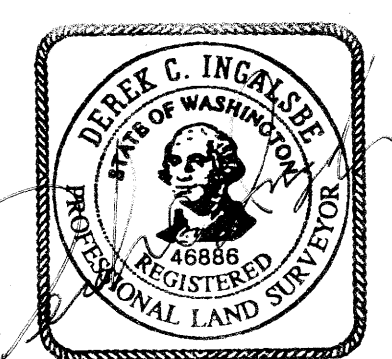
HORIZONTAL CONTROL

WASHINGTON STATE SOUTH ZONE, US SURVEY FEET, NAD
83(2011). PER THE CITY OF RICHLAND GPS CONTROL MAP,
GPS TIES WERE MADE TO 1020, 1023 AND 1038 CONTROL
POINTS AND PROJECTED TO GROUND AT POINT 1038.

GROUND DISTANCES ARE SHOWN HEREON.
<https://richlandwa.maps.arcgis.com/>

NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. LOCATIONS OF SAID UTILITIES WERE DERIVED FROM FIELD ASBUILT OBSERVATIONS.
2. THE CONTOURS SHOWN WERE DERIVED FROM DIRECT FIELD OBSERVATIONS. ACCURACY OF SHOWN CONTOURS MEET OR EXCEED THE US NATIONAL MAP ACCURACY STANDARDS, OF ONE-HALF THE CONTOUR INTERVAL.
3. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE STRATTON SURVEYING AND MAPPING PC MAKES NO GUARANTEE THAT ALL ITEMS OF RECORD AFFECTING THE PROPERTY ARE SHOWN HEREON.
4. THIS IS A TOPOGRAPHIC MAP. THIS IS NOT A BOUNDARY SURVEY AND IS ONLY INTENDED TO DEPICT THOSE TOPOGRAPHIC FEATURES OR IMPROVEMENTS SHOWN HEREON. THE PROPERTY LINES SHOWN ARE RECORD LINES AND ARE ONLY SHOWN FOR GRAPHICAL REFERENCE.
5. THE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS FOR THE USE AND AID IN THE DESIGN OF A PARKING LOT GRADING PLAN.
6. FIELD WORK COMPLETED 06/23/23.



INDEX

1/4	1/4	SEC	T.	R.
		23	10N	28E

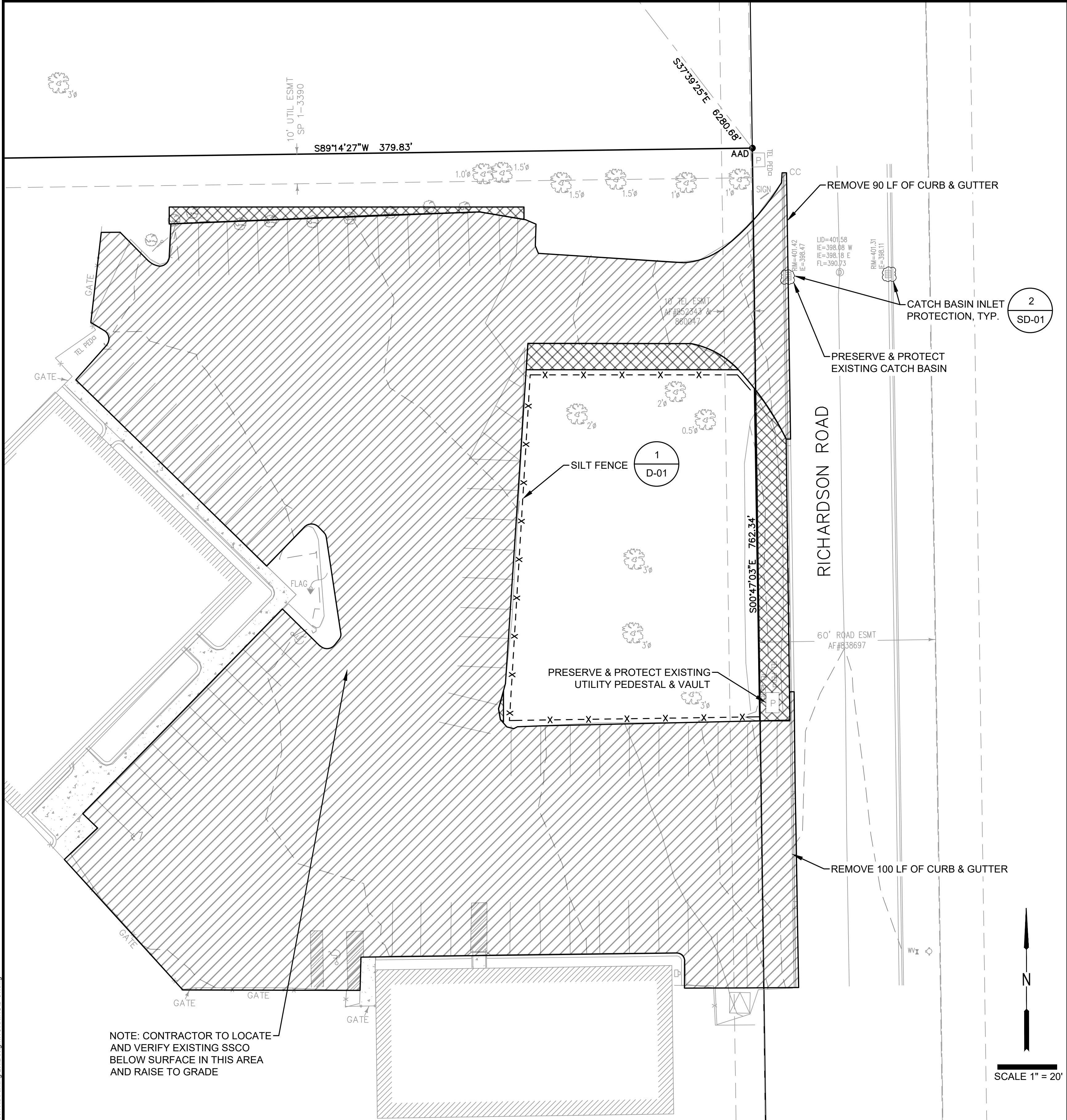
TOPOGRAPHIC SURVEY FOR

Port of Benton

STRATTON SURVEYING & MAPPING P.C.

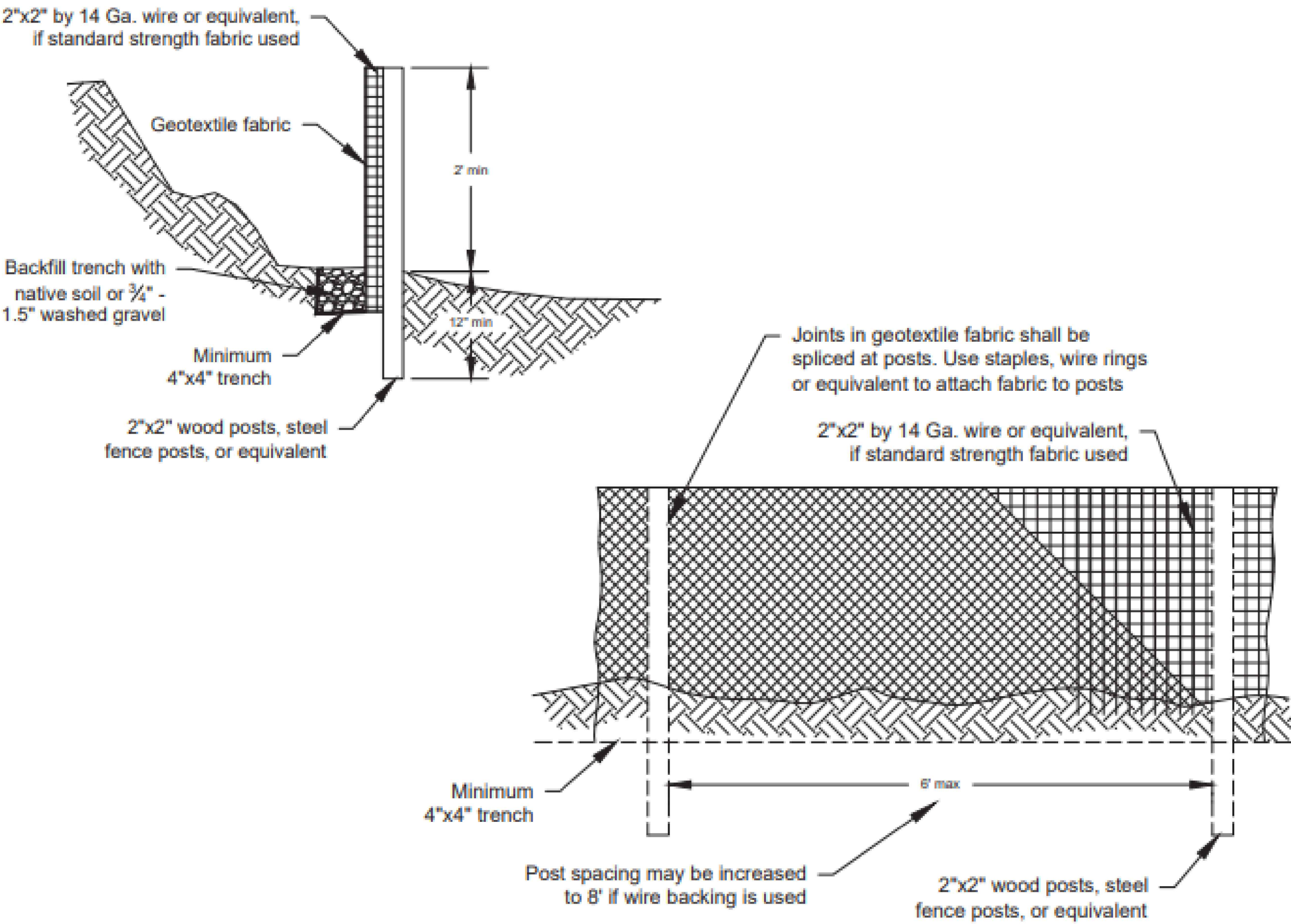
313 NORTH MORAIN STREET
KENNEMICK, WA 99336
(509) 735-7364
FAX: (509) 735-6560
www.strattonsurvey.com

2981TP65.DWG	© 2023
DATE: 06/27/23	SHT. 1 OF 1
DRAWN BY: DCI	JOB # 2981



TESC NOTES:

1. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC BMPs IS THE RESPONSIBILITY OF THE APPLICANT UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
2. CLEARLY FLAG THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT FOR THE DURATION OF CONSTRUCTION.
3. CONSTRUCT THE ESC BMPs SHOWN ON THIS PLAN IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
4. THE ESC BMPs SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE ESC BMPs AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
5. THE APPLICANT SHALL INSPECT THE ESC BMPs DAILY AND MAINTAIN THEM AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONALITY.
6. ENSURE THAT TRACK OUT ONTO RICHARDSON RD IS SWEEPED UP/CLEANED EVERY DAY OF THE WEEK.
7. CONTRACTOR SHALL IMPLEMENT ALL NECESSARY DUST CONTROL BMPs IN ACCORDANCE WITH ECOLOGY AND LOCAL JURISDICTION REQUIREMENTS.
8. CONTRACTOR SHALL IMPLEMENT ALL NECESSARY BMPs TO SUPPORT PROPER CONCRETE REMOVALS, REPLACEMENTS, AND WASHOUT REQUIREMENTS IN ACCORDANCE WITH ECOLOGY AND LOCAL JURISDICTION REQUIREMENTS.



LEGEND

- REMOVE EXISTING PAVEMENT AND CURBING FOR NEW ASPHALT
- REMOVE EXISTING LANDSCAPING AND PLANTS/SOIL FOR NEW ASPHALT
- -X— SILT FENCE

SILT FENCE
N.T.S.

1

REF: 2019 STORMWATER MANAGEMENT MANUAL
FOR EASTERN WASHINGTON FIGURE 7.24

REUSE OF DOCUMENTS

THIS DRAWING, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CENTURY WEST ENGINEERING CORPORATION, AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CENTURY WEST ENGINEERING CORPORATION.

© CENTURY WEST ENGINEERING CORPORATION

NO.	DATE	BY	APPR	REVISIONS



ELLENSBURG OFFICE
208 W 9TH AVENUE, SUITE 3
ELLENSBURG, WA 98926
509.933.2477

DATE: 12/21/2023

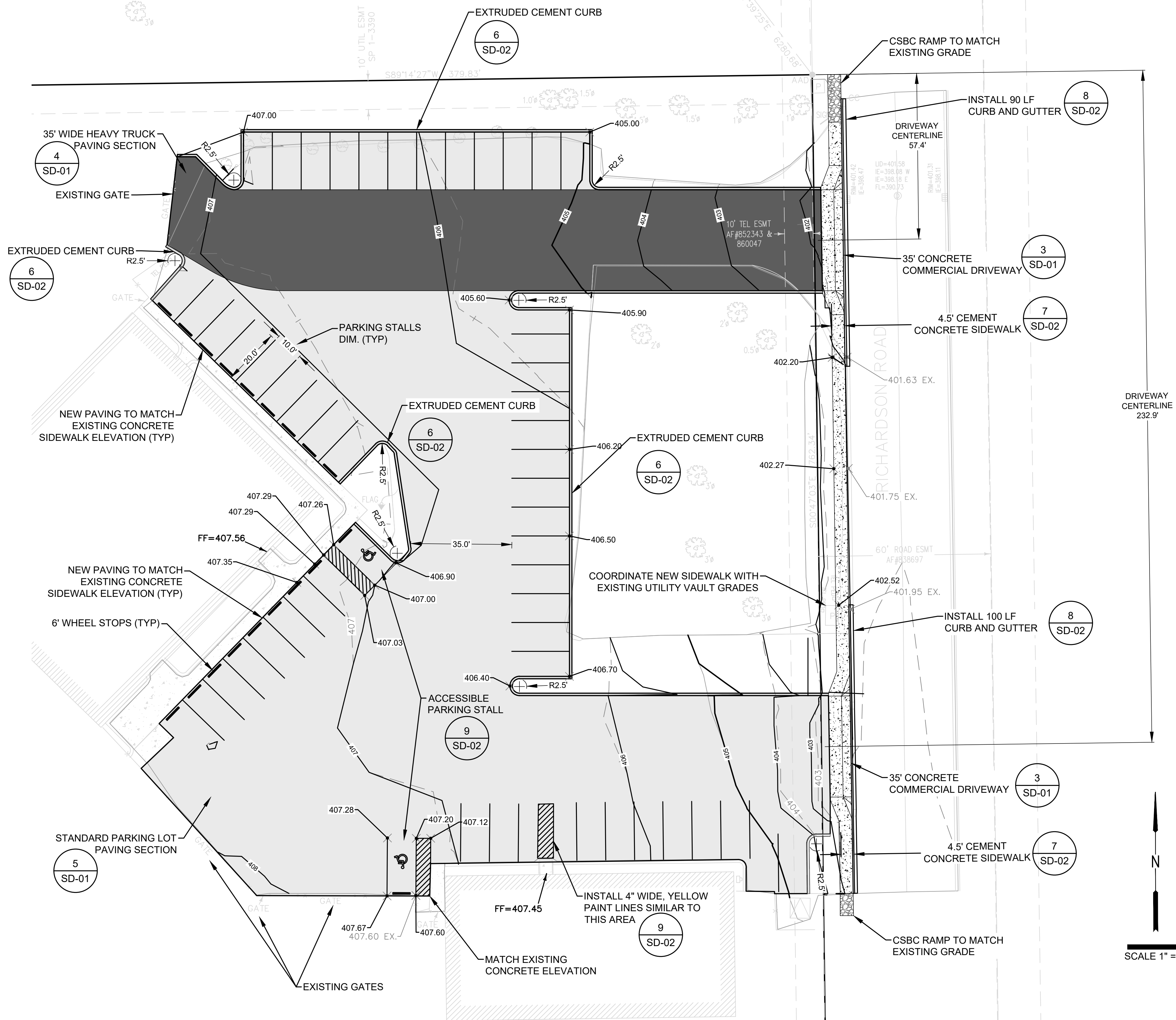
PROJECT NO: 41446.008.01

DESIGNED BY: TAW
DRAWN BY: JCW
CHECKED BY: TAW
SCALE: 1"=20'

WESTINGHOUSE PARKING LOT
PORT OF BENTON
RICHARDSON RD PARKING LOT IMPROVEMENTS

DEMOLITION AND TESC PLAN

DRAWING NO.
D-01
SHEET NO.
4 OF 7



CONSTRUCTION NOTES:

1. INSTALL 4" WIDE, WHITE PAINT LINES FOR PARKING STALLS (TYP.)
2. INSTALL ASPHALT PAVEMENT 1-FOOT BEYOND BACK OF EXTRUDED CURB LIMITS FOR SUPPORT (TYP.)
3. EXTRUDED CURB RADII ARE MEASURED BASED OFF OF BACK OF CURB.
4. ALL SPOT ELEVATIONS ARE TOP OF ASPHALT OR CONCRETE SIDEWALK UNLESS NOTED OTHERWISE.
5. INSTALL WHEEL STOPS PER DETAIL 9, SD-02.

REUSE OF DOCUMENTS

THIS DRAWING, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CENTURY WEST ENGINEERING CORPORATION, AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CENTURY WEST ENGINEERING CORPORATION.

© CENTURY WEST ENGINEERING CORPORATION

NO.	DATE	BY	APPR	REVISIONS



ELLENSBURG OFFICE
208 W 9TH AVENUE, SUITE 3
ELLENSBURG, WA 98926
509.933.2477

DATE: 12/20/2023

PROJECT NO: 41446.008.01

DESIGNED BY: TAW
DRAWN BY: JCW
CHECKED BY: TAW
SCALE: 1"=20'

WESTINGHOUSE PARKING LOT
PORT OF BENTON
RICHARDSON RD PARKING LOT IMPROVEMENTS

SITE GRADING & PAVING/STRIPING PLAN

DRAWING NO.
C-01
SHEET NO.
5 OF 7



1. Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
2. The BIGD shall have a built-in high-flow relief system (overflow bypass).
3. The retrieval system must allow removal of the BIGD without spilling the collected material.
4. Perform maintenance in accordance with Standard Specification 8-01.3(15).



N.T.S.

2

REF: WSDOT STANDARD PLAN I-40.20-00



1. When the driveway width exceeds 15' (ft), construct a full depth expansion joint with 3/8" (IN) joint filler along the driveway centerline. See **Standard Plan F-30.10**. Construct expansion joints parallel with the centerline as required at 15' (ft) maximum spacing when driveway widths exceed 30' (ft).
2. See **Standard Plan F-30.10** for sidewalk details.
3. Curb and Gutter shown; see the Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb Details.
4. Avoid placing drainage structures, junction boxes or other obstructions in front of driveway entrances.
5. Where "GRADE BREAK" is called out, the entire length of the line between the two adjacent surface planes shall be flush.
6. The Pedestrian Ramp length is not required to exceed 15 feet (unless otherwise shown in the Contract Plans). When applying the 15-foot max. length (measured from back of sidewalk) the running slope of the pedestrian ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk over a horizontal distance of 15 feet.
7. Beyond limits shown. Pay item does not include driveway. See Contract Plans.
8. Install minimum 2" thick CSBG leveling course under driveways.



— SLOPE IN EITHER DIRECTION

- * 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)
- * * 7.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (8.3% MAX.)
(SEE NOTE 6)



N.T.S.

3

REF: WSDOT STANDARD PLAN F-80.10-04



N.T.S.

4



N.T.S.

5

THIS DRAWING, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CENTURY WEST ENGINEERING CORPORATION, AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CENTURY WEST ENGINEERING CORPORATION.

© CENTURY WEST ENGINEERING CORPORATION

NO.	DATE	BY	APPR	REVISIONS



DATE: 12/20/2023

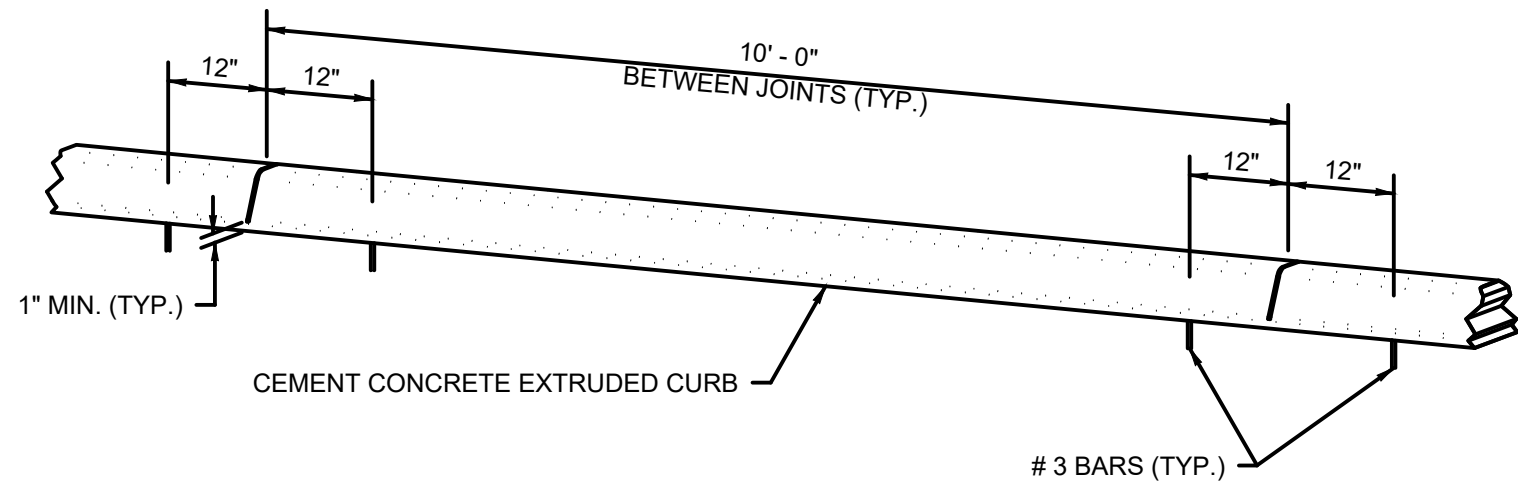
PROJECT NO:
41446.008.01

SCALE:
1"=20'

WESTINGHOUSE PARKING LOT
PORT OF BENTON
RICHARDSON RD PARKING LOT IMPROVEMENTS

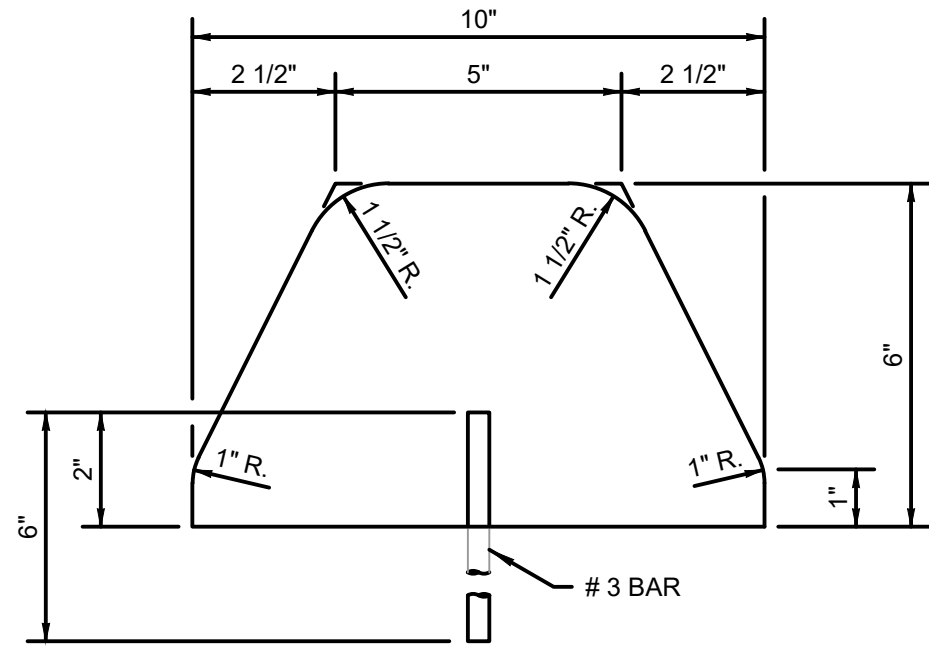
DETAILS

6 OF 7



NOTE

JOINTS MAY BE FORMED DURING INSTALLATION USING A RIGID DIVIDER OR SAWCUT AFTER CONCRETE CURES TO MINIMUM STRENGTH.

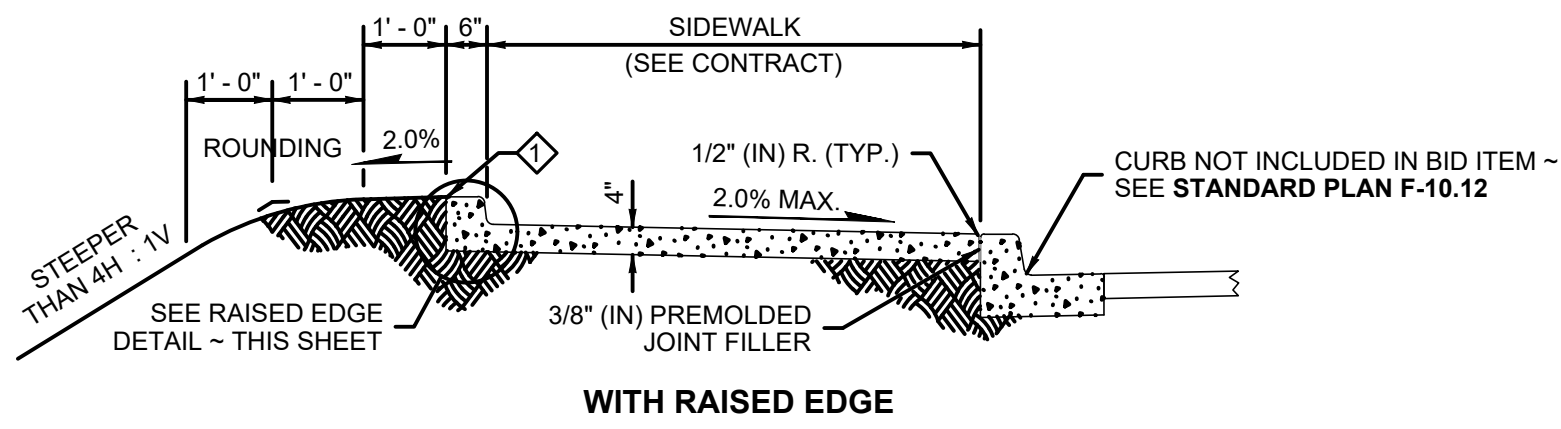


TYPE 6 EXTRUDED CURB (CEMENT CONCRETE)

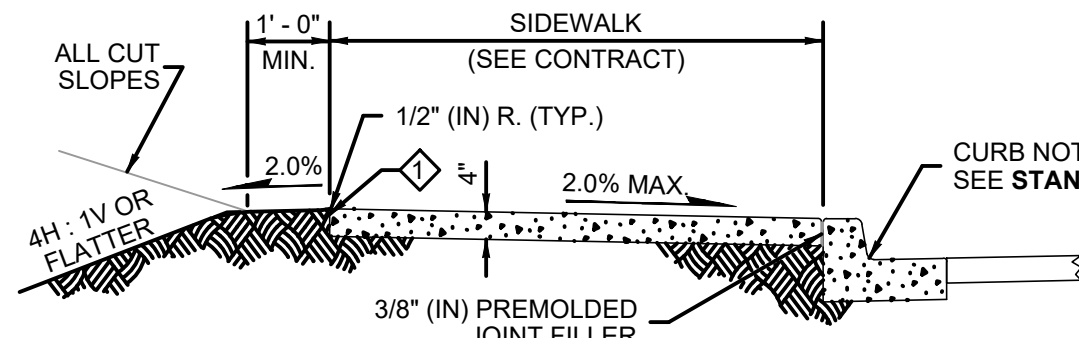
N.T.S.

REF: WSDOT STANDARD PLAN F-10.42-00

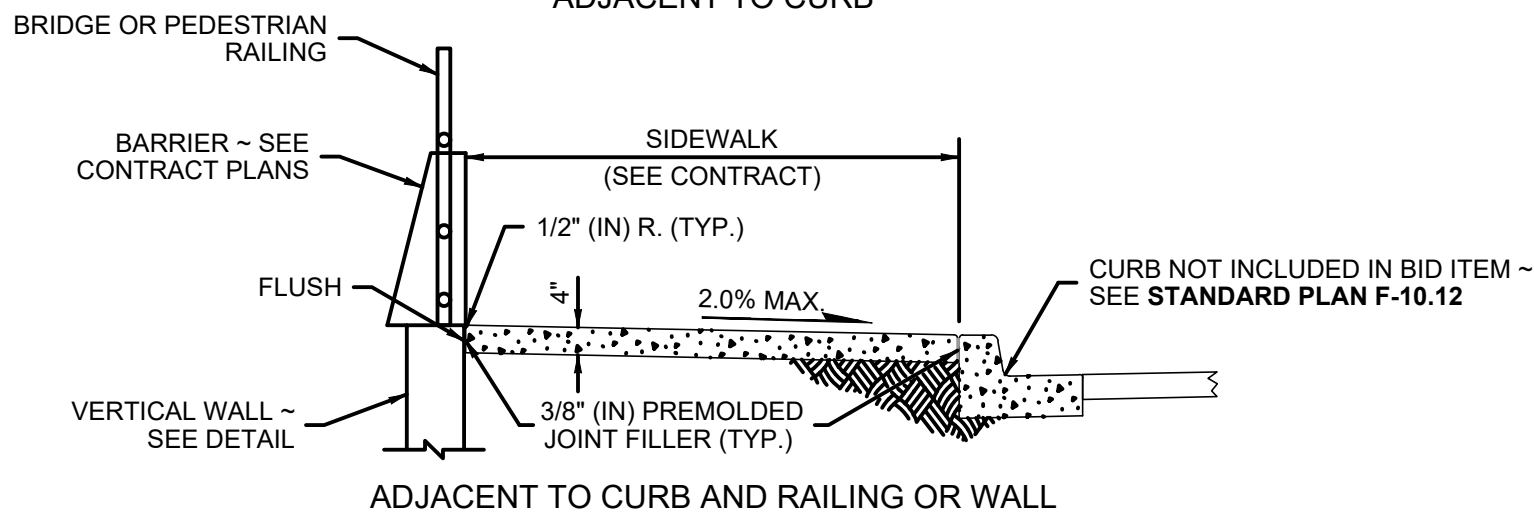
6



WITH RAISED EDGE



ADJACENT TO CURB



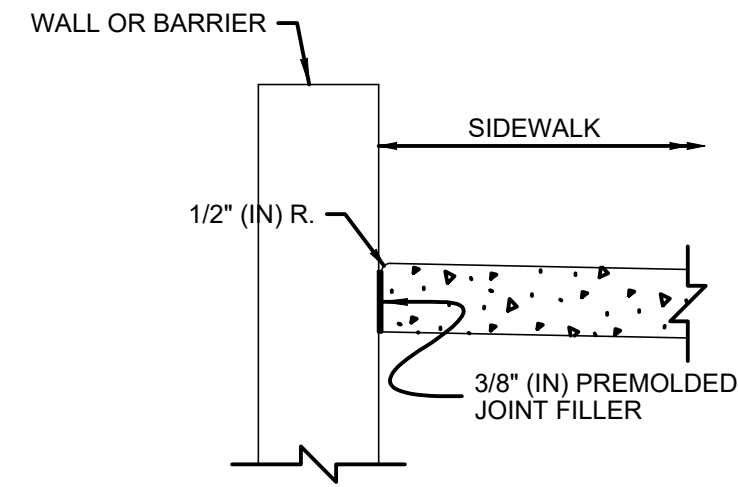
ADJACENT TO CURB AND RAILING OR WALL

NOTE:

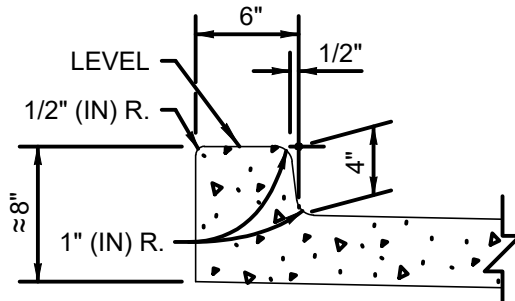
1. INSTALL 2" OF CSBC LEVELING COURSE UNDER SIDEWALKS.

NOTE

1. Gratings, Access Covers, Junction Boxes, Cable Vaults, Pull Boxes and other appurtenances within the sidewalk must have slip resistant surfaces, be flush with surface, and match grade of the sidewalk.

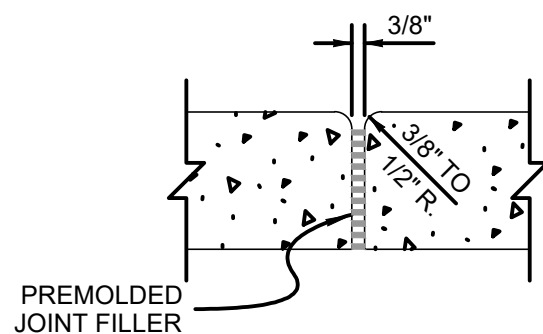


SIDEWALK ADJACENT TO WALL DETAIL

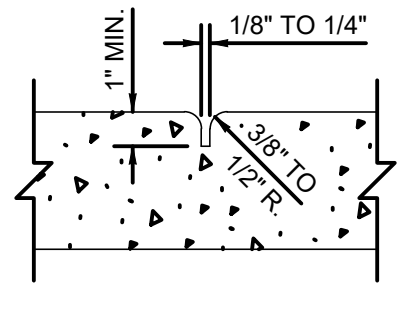


RAISED EDGE DETAIL

EXTEND SIDEWALK TRANSVERSE JOINTS TO INCLUDE RAISED EDGE



EXPANSION JOINT



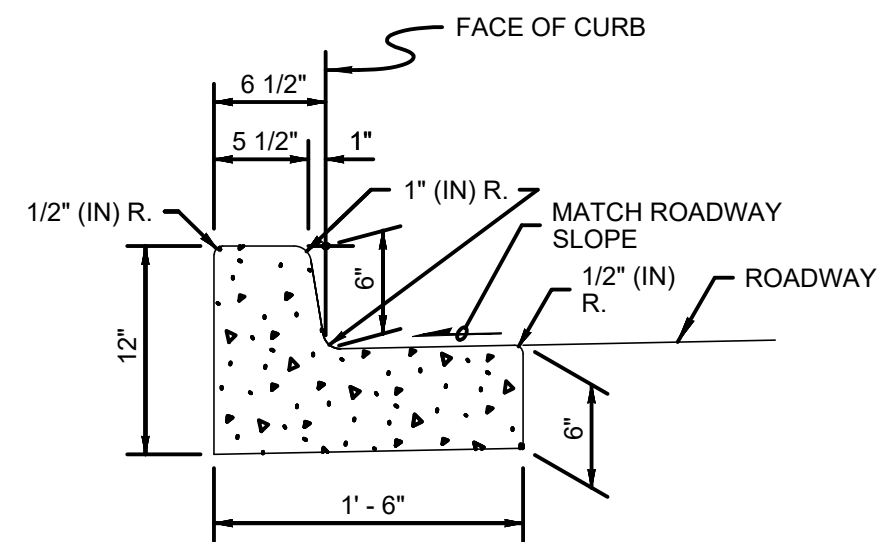
CONTRACTION JOINT

CEMENT CONCRETE SIDEWALK

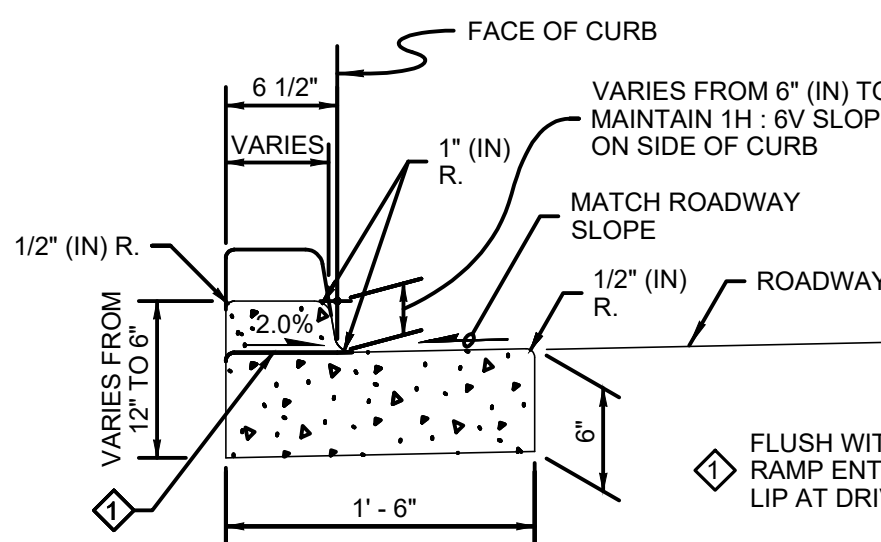
N.T.S.

7

REF: WSDOT STANDARD PLAN F-30.10-04



CEMENT CONCRETE TRAFFIC CURB AND GUTTER



DEPRESSED CURB AND GUTTER SECTION AT CURB RAMPS AND DRIVEWAY ENTRANCES

NOTE:

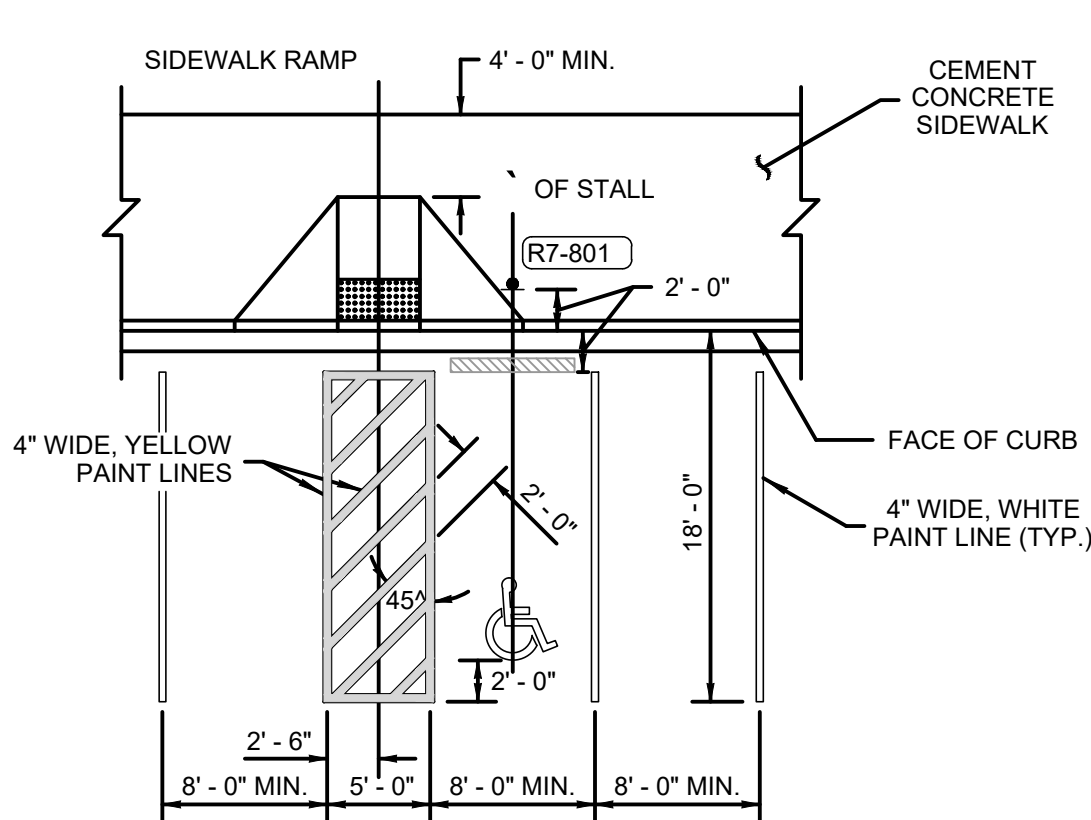
1. SEE STANDARD PLAN F-30.10 FOR CURB EXPANSION AND CONTRACTION JOINT SPACING. SEE STANDARD SPECIFICATION SECTIONS 8-04 AND 9-04 FOR ADDITIONAL REQUIREMENTS.

CEMENT CONCRETE TRAFFIC CURB AND GUTTER

N.T.S.

REF: WSDOT STANDARD PLAN F-10.12-04

8



ONE ACCESSIBLE STALL STRIPING PLAN

N.T.S.

9

REF: WSDOT STANDARD PLAN M-17.10-02

NOTE:

1. AN ACCESS PARKING SPACE SYMBOL IS REQUIRED FOR EACH ACCESSIBLE PARKING STALL.
2. ALL ACCESSIBLE STALLS SHALL HAVE WHEEL STOPS. PLACE WHEEL STOPS IN OTHER STALLS WHEN SPECIFIED IN THE CONTRACT. WHEEL STOPS SHALL BE APPROXIMATELY 6" HIGH AND A MINIMUM OF 6' LONG.
3. REFER TO THE STANDARD PLANS FOR SIDEWALK RAMP, DETECTABLE WARNING PATTERN, AND CURB DETAILS.

- (R7-801) Reserved Parking Sign and post with (R7-801A) Plaque, if indicated (See Sign Fabrication Manual)
- Access Parking Space Symbol
- Manufactured wheel stop
- Detectable Warning Pattern

REUSE OF DOCUMENTS

THIS DRAWING, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CENTURY WEST ENGINEERING CORPORATION, AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CENTURY WEST ENGINEERING CORPORATION.

© CENTURY WEST ENGINEERING CORPORATION

NO.	DATE	BY	APPR	REVISIONS

CENTURY WEST
ENGINEERING

ELLENSBURG OFFICE
208 W 9TH AVENUE, SUITE 3
ELLENSBURG, WA 98926
509.933.2477

DATE: 12/20/2023

PROJECT NO: 41446.008.01

DESIGNED BY: TAW
DRAWN BY: JCW
CHECKED BY: TAW
SCALE: 1"=20'

WESTINGHOUSE PARKING LOT
PORT OF BENTON
RICHARDSON RD PARKING LOT IMPROVEMENTS

DETAILS

DRAWING NO.
SD-02
SHEET NO.
7 OF 7